

Schad, Patrick F.

From: John Myers [jmyers@springfieldlaw.com]
Sent: Wednesday, March 09, 2005 9:22 AM
To: pjones@amlegal.com
Cc: Schad, Patrick F.; Mike Williamsen; Jay Jessen
Subject: Revision to Village of Chatham, IL Ordinance Code
Attachments: Amending Subdivision Chapter.doc

Mr. Jones:

Confirming our conversation this morning, I am attaching a copy of a revision to the Subdivision Chapter of the Village of Chatham Code of Ordinances. This revision was adopted as Ordinance No. 05-05, on February 22, 2005.

The Village of Chatham is requesting that American Legal Publishing do a special supplement of the Code incorporating these changes. Since our local contractors and developers are starting the Spring construction season and these revisions directly impact their costs, the Village is asking that you expedite the supplement as much as possible.

When the update is finished, you have kindly offered to provide, free of charge, two copies of the entire Code on one or more CD's, one copy in Word format and one in Word Perfect format. I will in turn distribute copies to the Village. As I discussed with you, the Village plans to prepare separate pamphlet forms of the subdivision and zoning chapters for distribution to contractors and developers.

Also, you have agreed to send me a proposal for publishing the Chatham Code in Folio format (which, for the benefit of the folks being copied on this e-mail, is a searchable format) on the American Legal website, and updating the Code on the website whenever you do a print update. The idea is that the Village would provide a link to your website on its website.

Thank you for your assistance.

John Myers

P.S. to Mike Williamsen: Please forward a copy of this e-mail to Del and Meredith. The Village of Chatham e-mail system has unjustly decided that I am a spammer, and has been blocking my e-mails of late. Thanks.

John M. Myers
Rabin, Myers & Hanken, P.C.
1300 South Eighth Street
Springfield, IL 62703

217.544.5000
217.544.5017 (fax)

Ordinance No. 05- 05

**AN ORDINANCE AMENDING THE SUBDIVISION CHAPTER OF THE
VILLAGE OF CHATHAM CODE OF ORDINANCES**

*BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE
VILLAGE OF CHATHAM, ILLINOIS, AS FOLLOWS:*

SECTION 1: The “Subdivision Review Procedure” immediately preceding
Section 155.001 of the Village of Chatham Code of Ordinances is amended to state as
follows:

SUBDIVISION REVIEW PROCEDURE

	# of Prints	Reviewed by	Payment	Approval valid for
Location Map Minor Subdivision	12	CPC Village Board	None	1 Year
Location and Sketch Maps	12	CPC Village Board	None	1 Year
Preliminary Plan	13	CPC Village Board	\$ 200	3 Years
Construction Plans	4	Village Engineer	Fees described in Notes 1, 2, 3 and 4	As long as Prelim Plan is Current
Final Plat	13	CPC Village Board	\$ 200 plus Fee described in Note 5	2 Years
Preliminary Plan Reaffirmation	13	CPC Village Board	None	3 Years Renewable Time
Minor Subdivision	12	CPC Village	\$ 200	2 Years

		Board		
Large Scale Development	13	CPC Village Board	\$ 200	

CPC - Chatham Planning Commission

NOTES:

- 1) Plan Review and Inspection Fee - 1.25% of estimated construction cost of public improvements.
- 2) Street Sign Fee – actual cost of new sign assemblies [see Section 155.092 (L)(2)].
- 3) Electric Infrastructure Fee – fee identified in current electric ordinance
- 4) Early Warning Siren Fee – fee identified in current electric ordinance
- 5) Plan Review and Inspection Fee – fee described in note 1, if not already paid.

SECTION 2: Section 155.0032(A) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(A) The subdivider shall file 13 prints of the preliminary plan of the proposed subdivision in the office of the Zoning Administrator with a filing fee of \$200 to be deposited in the appropriate Village account. The subdivision will be reviewed according to the filing deadline and review schedule established by the Planning Commission, and then by the Village Board.

SECTION 3: Section 155.034 of the Village of Chatham Code of Ordinances is

amended to state as follows:

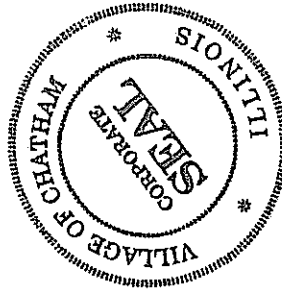
§155.034 VILLAGE BOARD ACTION.

Not later than the second regularly scheduled meeting after its receipt of the prints of the preliminary plan recommending approval or disapproval by the Planning Commission and of the minutes of the Planning Commission meetings considering the preliminary plan, the Village Board shall consider approval or disapproval of the preliminary plan. At such meeting, the subdivider may appear and be heard by the Village Board if it so desires. The Village Board shall by resolution approve or disapprove the preliminary plat, and shall appropriately endorse the prints of the preliminary plan, and if the preliminary plan is approved, the original of the preliminary plan, as follows:

[Dis]approved by resolution of the President and Board of Trustees of the Village of Chatham this 22 day of FEB, 2005.

Thomas S Gray
Village President

Attest:
Pat Schul
Village Clerk



SECTION 4: Section 155.042 of the Village of Chatham Code of Ordinances is amended by the addition of subsection (M) and the revision of subsections (K) and (L), to state as follows:

(K) Proof of application for Storm Water Pollution Prevention Plan (SWPPP) permit, if applicable.

(L) Other specific additional information may be requested by the Village's Consulting Engineer.

(M) Permits for sanitary sewer and water main construction, if required.

SECTION 5: Section 155.052 of the Village of Chatham Code of Ordinances is amended to state as follows:

§ 155.052 REVIEW AND INSPECTION FEES.

(A) Before starting construction of any public improvements, the subdivider shall be assessed and shall deposit with the Zoning Administrator for the Village of Chatham an amount equal to one and one quarter percent (1.25 %) of the estimated construction cost (including but not limited to grading, drainage, roadway, sidewalk, sewer, waterline and other improvements which are to be dedicated to public use or which benefit the subdivision generally) as approved by the Village engineer. The Zoning Administrator shall cause such funds to be deposited in the General Fund of the Village.

(B) The foregoing fee is intended to reimburse the Village for charges of the Village engineer in connection with the review and inspection of the preliminary and final plats and the construction of the public improvements. In the event that the engineering expenses incurred by the Village are in excess of the amount initially paid by the subdivider, the Village shall bill the subdivider for the difference, and such amount shall be paid by the subdivider prior to acceptance by the Village of the final plat. However, the subdivider shall not be entitled to any refund in the event the fees actually charged to the Village by the Village engineer is less than 1.25 % of the estimated construction costs.

SECTION 6: Section 155.055(A) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(A).If at the time a final plat is submitted for approval or at any time thereafter, the subdivider has already constructed a portion of the public improvements therein, the subdivider may request that the security for the subdivision be based on 125% the estimated cost of the unconstructed portion. This basis for establishing the amount of the security shall be used only if the Village's Consulting Engineer has inspected the completed portion of the public works and certified that the works have been constructed in accordance with the approved construction plans.

SECTION 7: Section 155.075 of the Village of Chatham Code of Ordinances is

amended to state as follows:

§ 155.075 RECORDING THE FINAL PLAT.

When the final plat has been approved by the Village Board and signed by the Mayor and the Village Clerk, the original tracing shall be recorded in the office of the Recorder of Deeds of Sangamon County, Illinois. If the final plat is not recorded within 2 years after approval by the Village Board, the plat must be resubmitted to the Planning Commission to determine if any changes in the final plat are needed to meet the requirements of this Ordinance. No title to any lots shall be conveyed until the original tracing is recorded. The developer shall deliver a copy of the recorded final plat (containing the document number assigned by the county) to the Village Public Works/ Zoning Department.

SECTION 8: Section 155.092 of the Village of Chatham Code of Ordinances is

amended to state as follows:

§155.092 STREET DESIGN

The following requirements shall be incorporated into the design of all streets:

(A) Vertical Alignment

Grades. The maximum grade on a major or minor arterial shall be 5 percent. The maximum grade on all other streets shall be 8 percent. The minimum grade on all streets shall be 0.40 percent. All street grades shall be subject to the approval of the Village's Consulting Engineer.

(B) Horizontal Alignment.

(1) Horizontal Curves. When a center line deflection angle is greater than one (1) degree, the following curves shall be required in the street: major and minor arterials and collector streets shall have a minimum center line radius of 300 feet and a minimum length of curve of 100 feet; arterials and collectors having a design speed and/or expected posted speed greater than 30 miles per hour shall be consistent with the latest revision of the Horizontal Curvature requirements of ASSHTO. A Policy on Geometric Design of Highways and Streets for the appropriate roadway classification; all other types of streets shall have a minimum center line radius of 100 feet. The pavement in all cases shall be wide enough to allow the movement of a WB-50 Design vehicle, as described in the State of Illinois, Department of Transportation Design Manual.

(2) Intersections. Intersections of major and minor arterials and collectors with roadways of the same classes shall not be closer than one quarter of a mile from any other such functionally classed roadways' intersections. These intersections shall be located at the quarter mile grid points.

(3) Street Offsets. Street centerline offsets shall not be less than 125 feet, unless otherwise warranted to the satisfaction of the Village's Consulting Engineer.

(4) Curb Corners. All curb corners shall have a minimum radius of 25 feet.

(C) All local and collector streets shall be installed in accordance with the following pavement standards:

Subgrade: At the option of the subdivider, 12 inch lime-stabilized soil per latest IDOT Standard shall be employed from back-of-curb to back-of-curb. If this option is

chosen, the subdivider shall cut the subgrade to an elevation of no more than one-half inch above the proposed bottom of the pavement before the lime stabilization treatment is applied. This will prevent the need for excessive trimming of the treated subgrade during final grading and ensure the proper thickness of lime stabilized soil.

Asphalt: Pavement Alternate:

(Alternate A). If the subgrade is treated as in above, the pavement design will consist of 4 inches of bituminous concrete binder course (Superpave IL 19N50) and 2 inches of bituminous concrete surface course (Superpave Mix C,N50)

(Alternate B). If the subgrade is not lime treated, the pavement shall consist of 6 inches bituminous concrete binder course (Superpave IL 19N50) and 2 inches of bituminous concrete surface course (Superpave Mix C,N50)

All subgrades shall be inspected by the Village's Consulting Engineer. If the Engineer deems necessary, subgrades will be proof rolled prior to paving.

If the street is a minor arterial, the above binder and surface shall be increased to 6 inches and 2 inches for the lime treated and 8 inches and 2 inches respectively for the non-lime treated subgrades. All major arterial roadways will be designed in accordance with Illinois DOT pavement design standards and as described in the "Pavement Design" section below.

All asphalt material testing shall conform to the latest Illinois DOT Quality Control/Quality Assurance procedures for documentation.

Concrete: Pavement Alternate

Regardless if the subgrade is treated, a minimum of 6 inches unreinforced Portland Cement Concrete pavement according to Section 408 of IDOT specifications shall be employed. All transverse contraction joints shall be 15 feet and sealed per ASTM D3405.

If the street is a minor arterial, the pavement shall be increased to 8 inches. All transverse contraction joints shall be 20 feet and sealed per ASTM D3405.

Pavement Design.

1. All major arterial pavements shall be designed in accordance with the requirements contained in the latest, revised edition of the State of Illinois DOT Design Manual and shall be designed for a 20-year period. The minimum requirements listed in the tables of the Design Manual shall govern at all times.

2. An Illinois Bearing Ratio of 3.0 (IBR = 3.0) shall be used in pavement design unless the subdivider's engineer submits soil tests justifying a different IBR.

3. Vehicular traffic volumes and vehicle classification percentages used in the design shall be approved by the Village's Consulting Engineer.

In all cases the minimum street will govern if the above major arterial design is less.

(D) Pavement Width.

All streets shall be improved with pavements to an overall width in accordance with the following general guidelines, which are subject in every case to the discretion of the Village.

<u>Type of Street</u>	<u>Pavement Width</u> (edge of pavement to edge of pavement)
Major Arterial as required by IDOT	40 feet minimum and
Minor Arterial	32 feet minimum
Collector Street	27 feet minimum
Local Street	27 feet minimum

The minimum pavement width shall be 27 feet from the edge of pavement to edge of pavement, not including the curb and gutter. Different widths may be used depending on the anticipated traffic volumes and parking demand. These widths of pavement shall be determined by the Planning Commission and the Village's Consulting Engineer in consultation with the engineer for the subdivider. If a pavement width narrower than the above stated minimum results from this consultation, the subdivider shall install No Parking signs at his expense.

(E) Curb and Gutter.

(1) The standard curb and gutter required adjacent to flexible pavement shall be a Valley gutter type constructed of Portland cement concrete with the following dimensions: 24 inches wide, 8 inches thick on the front face (pavement side), 10 inches thick on the back face, 7 inches thick at center line (flow line), and a 10 inch radius in the flow line. The curb and gutter adjacent to concrete pavement, if poured monolithically, may be limited to the thickness of the pavement.

(2) All arterial roadways shall be constructed with a barrier type curb and gutter similar to Type B6.18 as described in the State of Illinois, Department of Transportation

Highway Standards shall be used. Other locations where a barrier type curb and gutter are required shall be determined by the engineer for the subdivision and the Village's Consulting Engineer.

(3) Expansion and contraction joints shall be constructed at the intervals identified and in accordance with the provisions of the Illinois DOT standard specifications.

(F) Pavement Crown.

The minimum crown used on all pavements shall be one quarter (1/4) inch per foot measured from the edge of the pavement to the centerline of the street.

(G) Cul-De-Sac Streets.

Local streets that are also cul-de-sac streets shall be no more than 600 feet long unless necessitated by topography in which case they shall be no longer than 1,000 feet unless provision is made for an interim turnaround with a radius sufficient to accommodate emergency vehicles and/or a median entrance (See division J of this section). A turnaround shall be provided at the closed end having an outside roadway diameter of at least eighty-six (86) feet edge to edge of pavement and a street right-of-way diameter of one hundred ten (110) feet. No obstructions shall be permitted in the cul-de-sac turnaround.

(H) Corner "Knuckles"

Widened areas or "Knuckles" constructed at the corners of local streets shall have a minimum edge of pavement radius of 45 feet.

(I) Stub Streets.

Access shall be provided to adjoining property not yet subdivided. Proposed streets shall be extended by dedication to the boundary of such unsubdivided property. At the end of all temporary stub streets, a barricade meeting the provisions of the Illinois Manual on Uniform Traffic Control Devices shall be installed by the subdivider. Stub streets in excess of 250 feet shall be provided with a temporary cul-de-sac with an outside roadway diameter of at least 90 feet. The type of construction shall be determined by the Village's Consulting Engineer. The subdivider shall dedicate a temporary easement to the appropriate street authority in the amount needed in excess of the normally required right-of-way for the temporary turnaround. When the street is extended in the future, the extra turnaround pavement shall be removed and curb and gutters and sidewalks

constructed by the subdivider who constructed the temporary pavement or by the subsequent lot owner.

(J) Multiple Access.

Any area of development containing 70 or more single family lots (or equivalent population) shall be served by two 2 functioning points of access. Where higher densities of development are proposed, a divided type entrance roadway may suffice with a median of adequate width to ensure continued emergency access lanes on one side. Depending on location and height of nearby poles or trees, the required median width shall range between 12 and 30 feet. This type of roadway construction is intended to accommodate higher density developments and not to lengthen the overall length of a cul-de-sac.

(K) Restriction of Access.

When a subdivision or a portion of it adjoins a major or minor arterial, no lot shall have direct access to the arterial. The lot shall have adequate depth for screen planting on the portion of the lot contiguous to the major or minor arterial.

(L) Street Names and Street Signs.

(1) A proposed street that is in alignment with and/or joins an existing named street shall bear the name of the existing street. In no case shall the proposed name of a street duplicate the name of an existing street within the plat jurisdiction of this Ordinance. The use of the suffix "street", "avenue", "boulevard", "driveway", "place", "court" or similar description shall not be a distinction sufficient to constitute compliance with this requirement.

(2) Street names signs shall be erected at all intersections within the Village's jurisdiction at the expense of the subdivider and shall be subject to the specifications of the Illinois Manual on Uniform Traffic Control Devices. The actual costs to install the street sign assemblies will be collected from the developer at the time the developer requests Village acceptance of the streets.

(M) Private Streets

There shall be no private streets platted in any subdivision. Every subdivision lot shall be served from a publicly dedicated street.

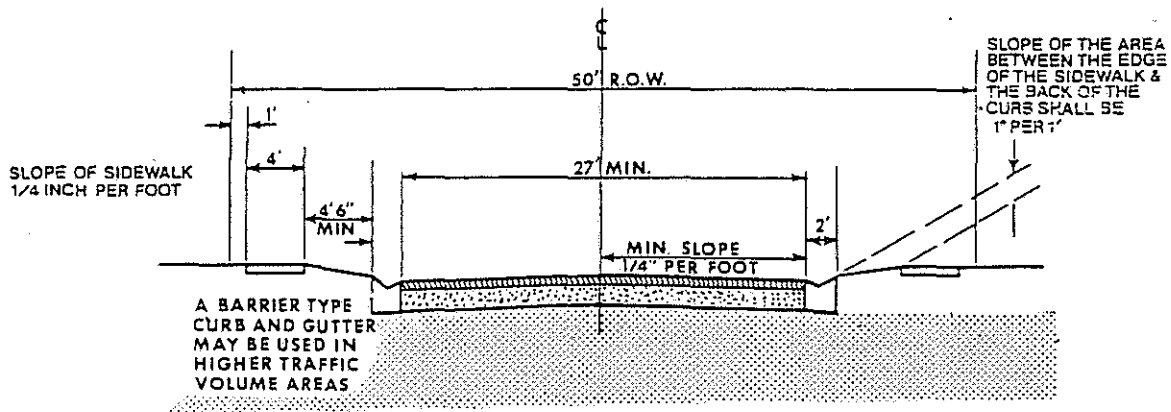
(N) Alleys.

Alleys are not recommended in residential subdivisions unless deemed necessary by the Planning Commission.

(O) Ramps.

Where sidewalks cross a barrier type curb and gutter as described in division (G) of this section, ramps shall be constructed to accommodate the handicapped. These ramps shall be constructed to the lines and grades shown on the standard sidewalk ramp example as shown in Appendix A-5. Inlets for storm drainage shall not be located so that a pedestrian way will be interrupted by the inlet grates.

(P) Typical Street Section



(Q) Medians and Islands.

Where medians or islands are proposed they shall be constructed with barrier curbing. All medians and islands shall be the responsibility of the subdivider and/or a subdivision association to maintain. No sign may be installed in the median which blocks the sight distance at the intersection. If such a sign is to be installed, detailed plans for the sign shall be submitted with the construction plans for approval. In no case shall an island or median contain any other sign or structure except as may be placed for traffic control under the direction of the Village's Consulting Engineer.

The subdivider or subdivision association may landscape medians or islands. Ground cover may not exceed a maximum height of 12 inches. Any additional living plant material must be maintained to allow visibility across, over or through medians and islands at a height of 3-10 feet above the adjacent roadway pavements.

SECTION 9: Section 155.093 (C) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(C) Sizes of Blocks.

Blocks shall not be less than 250 nor more than 1,200 feet in length, measured along the greatest dimension of the enclosed block area. In blocks over 800 feet in length, the Planning Commission may require one or more public crosswalks with a right-of-way of not less than 10 feet in width to extend entirely across the block at locations deemed necessary at intervals not closer than 400 feet.

SECTION 10: Section 155.096(A) through (D) of the Village of Chatham Code of

Ordinances are amended to state as follows:

(A) All subdivisions shall be developed with adequate surface drainage. Surface water drainage improvements shall consist of storm sewers and/or open channels, inlets, catch basins, and manholes designed and constructed to conform with standards established by the Village's Consulting Engineer and shall adequately drain the area being developed, including drainage from other areas which naturally drain through the areas being developed. Inlets and/or catch basins shall be spaced so that water will not flow overland more than 500 feet and shall be located so that in no case will water be required to flow across a street. Water shall not be retained outside the center 10 feet of drainage -- utility easement. Inlets covered by a metal grate shall have a grate of a type that will not be hazardous to a bicyclist. All concrete end sections for pipes less than 36 inches shall employ a grated cover to keep animals and/or children from entering the pipe.

(B) If, as the result of subdivision development, surface water is deposited in existing roadside ditches in quantities exceeding their capacity, the developer shall improve the ditches and replace culverts as needed to handle the flow.

(C) Unless engineering evidence is presented to the Village's Consulting Engineer warranting exceptions, storm sewers which will drain 20 acres or less for residential development shall be designed and constructed to meet the following criteria:

Major and minor arterials - 10 year storm frequency
All other areas - 5 year storm frequency

(D) It shall be the responsibility of the subdivider to provide grade control for rear lot drainage to each lot owner. Swales are not public works which shall be dedicated to and accepted by the Village; nevertheless, no construction surety shall be fully released until

the Village's Consulting Engineer has approved the swales in the subdivision. Upon approval by the Village's Consulting Engineer, it shall be the lot owner's responsibility to maintain the drainage course and to keep it free from features that restrict natural drainage. All swales in residential subdivisions shall have a portland cement concrete swale, 5 inches thick, as indicated on the drawing entitled "Paved Ditch Detail" attached to this Ordinance as Appendix A-6. Swales in commercial subdivisions shall be approved by the Village Engineer on a case-by-case basis based upon the characteristics of the site.

SECTION 11: Section 155.097 (A) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(A) Where an underground utility is to be placed in an area which has a permanent type street or sidewalk surface, or upon which such a surface is to be constructed within a period of one year, the backfill above the utility or in case of sewers, above the top of the granular cradle, to the level of the bottom of the permanent type pavement shall be made. This material will be in all areas where utility trenches cross the pavement subgrade except in areas which will be lime treated or areas where rock will be used to stabilize the subgrade. The backfill shall be IDOT CA-7, CA-8 or CA-11 with a 12 inch cap of IDOT CA-6 . Boiler slag and pit run sand will not be permitted. If the developer chooses to stabilize the subgrade with lime as described in Section 155.092, the CA-6 cap shall be constructed below grade to allow for an additional 12 inch cap of lime stabilized soil.

SECTION 12: Section 155.098 of the Village of Chatham Code of Ordinances is

amended to state as follows:

§155.098 SIDEWALKS.

Concrete sidewalks at least 4 feet wide and 4 inches thick shall be constructed on both sides of each street at least four 4.5 feet from, and at least 4 inches above, the backs of the curbs. Sidewalks shall be located one foot inside the street right-of-way. Sidewalks shall be constructed along all streets bordering the subdivision. All sidewalks along arterials and minor arterials shall be five feet wide.

All walks at corner lots shall be extended out to gutter(s) as shown in Appendix A-5. The developer shall construct the ADA sidewalk ramps (as depicted in Appendix A-5) on all corners at the time of street and curb and gutter construction.

The developer shall also construct all mid-block and cul-de-sac sidewalk connections (running perpendicular to the street and/or between two properties) at the time of street and curb and gutter construction.

SECTION 13: Section 155.099 of the Village of Chatham Code of Ordinances is amended by the addition of subsection (A)(2)(D), to state as follows:

(D) In all locations where lateral sewers have less than 5 feet of cover, Class 52 Ductile Iron Pipe shall be used. The developer shall supply and use proper adaptors to connect the Ductile Iron Pipe.

SECTION 14: Section 155.100 of the Village of Chatham Code of Ordinances is amended to state as follows:

§ 155.100 WATER SUPPLY.

(A) Public Water Supply

(1) Water mains not less than six inches in diameter shall be constructed throughout the entire subdivision. Larger diameter pipes may be required by the Village to provide for future transmission needs, in which case, the Village shall pay any incremental costs, over and above the costs to install a 6 inch main. All mains shall conform to SDR 21 requirements and shall be installed with No. 12 insulated tracing wire, secured at every joint with duct tape and exposed in every valve box.

(2) Every water supply system shall be designed in such a manner as to provide an area fire flow meeting the requirements established by the Fire Safety Division of the Fire Department. Water mains larger than six inches in diameter shall be installed at the subdivider's expense if needed to provide the area fire flow required by the Insurance Services Office guild for determination of required fire flow. A minimum of 1,000 gallons per minute with a residual pressure of twenty pounds per square inch shall be required. Fire hydrants with shut-off valves at each hydrant shall be installed throughout the entire system at maximum intervals of six hundred feet or less if required by the Fire Protection District. All fire hydrants shall be three nozzle hydrants with threads as specified by the Chatham Fire Department and shall have flow characteristics similar to those of a five and a quarter inch hydrant valve.

(3) All fire hydrants installed on roads with 50 foot rights-of-way shall be located as shown in Appendix A-7. All fire hydrants installed on roads with 60 foot rights-of-way shall be standard "tees."

(B) Private Water Supply.

When a public water supply is not feasible and the subdivision is outside the corporate limits of Chatham, a private well may be used. Wells shall be constructed according to the Illinois Water Well Pump Installation Code.

SECTION 15: Section 155.113(A) of the Village of Chatham Code of Ordinances is amended to state as follows:

(A) The subdivider shall file 10 prints of the minor subdivision in the office of the Zoning Administrator with a filing fee of \$ 200 to be deposited to the appropriate Village account. The subdivision will be reviewed according to the filing deadline and review schedule established by the Planning Commission .

SECTION 16: Section 155.133(A) of the Village of Chatham Code of Ordinances is amended to state as follows:

(A) The developer shall file 13 prints of the site plan of the proposed development in the office of the Zoning Administrator with a filing fee of \$ 200 to be deposited in the appropriate Village account. The site plan will be reviewed according to the filing deadline and review schedule established by the Planning Commission.

SECTION 17: The following Appendices, copies of which are attached hereto, are added to Chapter 155 of the Village of Chatham Code of Ordinances:

<u>Appendix</u>	<u>Description</u>
A-5	Sidewalk Standards for Handicap Corners
A-6	Paved Ditch Detail
A-7	Parallel Tee/Hydrant

SECTION 18:

This Ordinance shall take effect on March 1, 2005, after its passage and publication.

The Clerk shall publish this Ordinance in pamphlet form, and the Clerk shall see to its inclusion in the next update of the Village of Chatham Code of Ordinances.

PASSED this 22 day of FEB, 2005.

Thomas D Gray

VILLAGE PRESIDENT

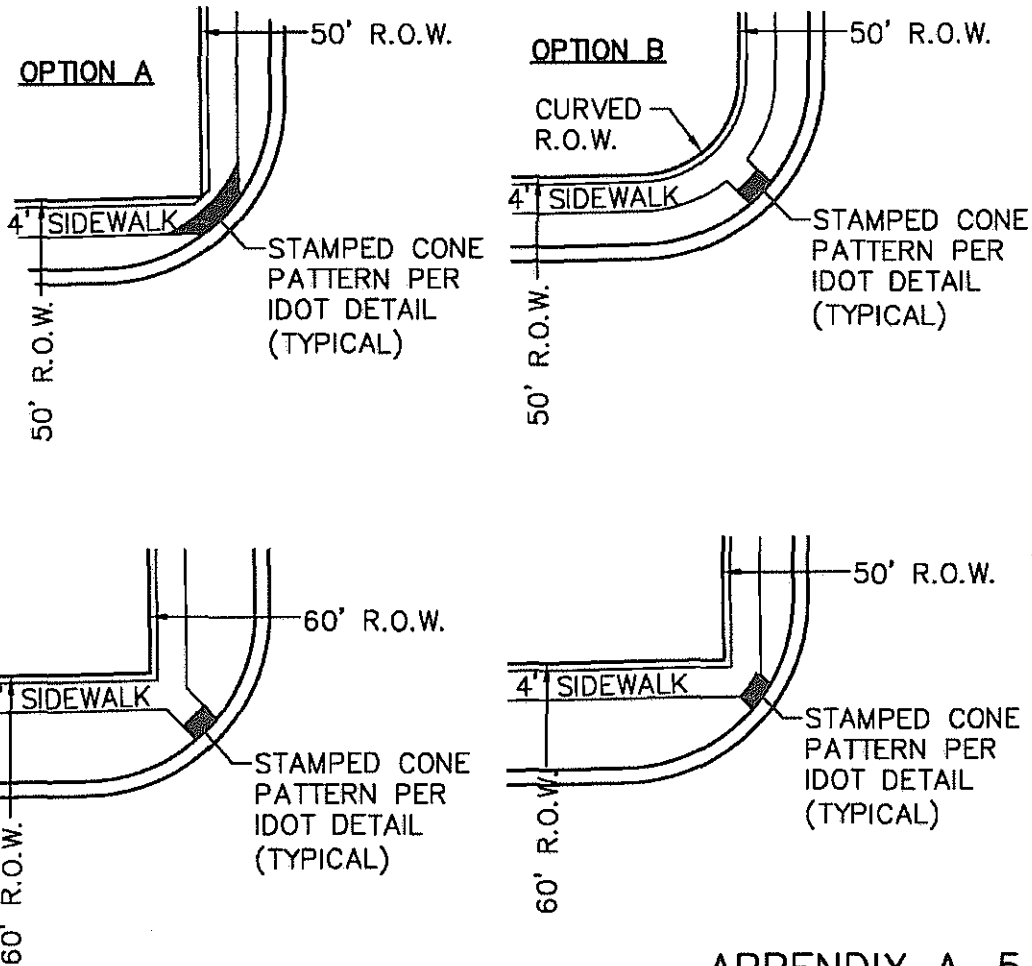
ATTEST:

Pat Schmal
Village Clerk



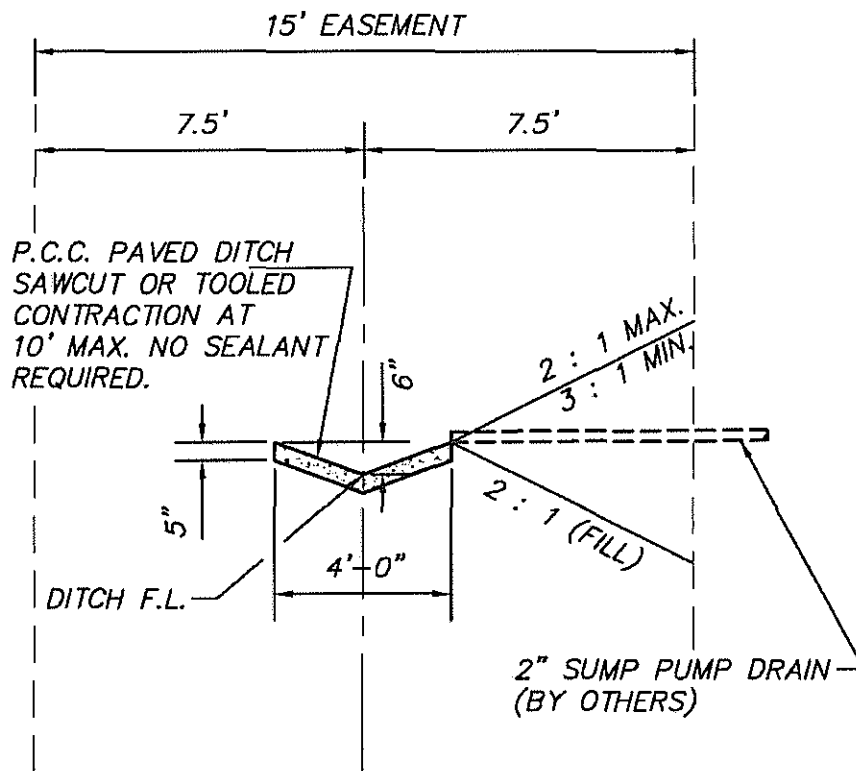
AYES: 6 HERR M'ADAMS BOYLE M'CARTHY M'GRATH KAUNAKA
NAYS: 0
PASSED: _____
APPROVED: _____
ABSENT: 0

SIDEWALK STANDARDS FOR HANDICAP CORNERS



APPENDIX A-5

REVISIONS	DATE	BY	 GREENE & BRADFORD, INC. OF SPRINGFIELD CONSULTING ENGINEERS 3501 CONSTITUTION DRIVE SPRINGFIELD, ILLINOIS 62711 (217) 793-8844, (217) 793-8227 FAX PROFESSIONAL DESIGN FIRM NO. 184-D01179 PROFESSIONAL & STRUCTURAL ENGINEERING CORPORATION	DATE	02-01-05
				DRAWN	BAILEY
				PROJ. NO.	05-001
				FIELD BOOK	X
				COMPUTER FILE NO.	05001STD2.dwg



PAVED DITCH DETAIL

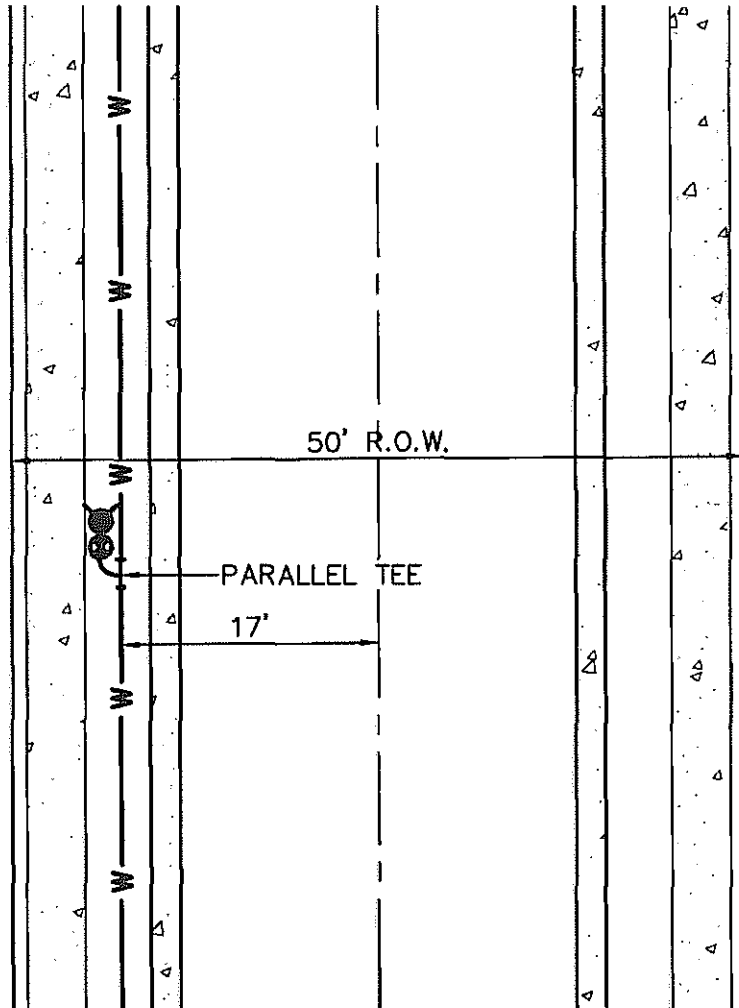
NOTE : VAR. 0' TO 3' CUT
1' FILL MAX.

APPENDIX A-6

	GREENE & BRADFORD, INC.	DATE 02-01-05
	OF SPRINGFIELD	DRAWN CRUM
	CONSULTING ENGINEERS	PRG. NO. 05-001
	3501 CONSTITUTION DRIVE SPRINGFIELD, ILLINOIS 62707	FIELD BOOK
	(217) 793-8844, (217) 793-8227 FAX	COMPUTER FILE NO. 05001STD3-1

PARALLEL TEE/HYDRANT

(FIRE HYDRANT LOCATION FOR 50' R.O.W.)



APPENDIX A-7

REVISIONS	DATE	BY	GREENE & BRADFORD, INC. OF SPRINGFIELD		DATE	02-01-05
				CONSULTING ENGINEERS 3501 CONSTITUTION DRIVE SPRINGFIELD, ILLINOIS 62711 (217) 783-8844, (217) 783-8227 FAX PROFESSIONAL DESIGN FIRM NO. 184-001179 PROFESSIONAL & STRUCTURAL ENGINEERING CORPORATION	DRAWN	BAILEY
					PROJ. NO.	05-001
					FIELD BOOK	X
					COMPUTER FILE NO.	05001STD.dwg

mikercg J:\05001\DRAWNGS\05001STD.dwg Tue, 02/1/2005 1:38pm
Xrefs:

PLOT SCALE 1 = 10

ORDINANCE CERTIFICATE

STATE OF ILLINOIS)
) SS.
COUNTY OF SANGAMON)

I, the undersigned, do hereby certify that I am the duly qualified and acting Village Clerk of the Village of Chatham, Sangamon County, Illinois.

I do further certify that the ordinance attached hereto is a full, true, and exact copy of Ordinance No. 05- 05 adopted by the President and Board of Trustees of said Village on the 27 day of FEB, 2005, said Ordinance being entitled:

AN ORDINANCE AMENDING THE SUBDIVISION CHAPTER OF THE VILLAGE OF CHATHAM CODE OF ORDINANCES

I do further certify that prior to the making of this certificate, the said Ordinance was spread at length upon the permanent records of said Village, where it now appears and remains.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of said Village this 27 day of FEB, 2005.



Village Clerk



Ordinance No. 05- 05

**AN ORDINANCE AMENDING THE SUBDIVISION CHAPTER OF THE
VILLAGE OF CHATHAM CODE OF ORDINANCES**

*BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE
VILLAGE OF CHATHAM, ILLINOIS, AS FOLLOWS:*

SECTION 1: The "Subdivision Review Procedure" immediately preceding

Section 155.001 of the Village of Chatham Code of Ordinances is amended to state as

follows:

SUBDIVISION REVIEW PROCEDURE

	# of Prints	Reviewed by	Payment	Approval valid for
Location Map Minor Subdivision	12	CPC Village Board	None	1 Year
Location and Sketch Maps	12	CPC Village Board	None	1 Year
Preliminary Plan	13	CPC Village Board	\$ 200	3 Years
Construction Plans	4	Village Engineer	Fees described in Notes 1, 2, 3 and 4	As long as Prelim Plan is Current
Final Plat	13	CPC Village Board	\$ 200 plus Fee described in Note 5	2 Years
Preliminary Plan Reaffirmation	13	CPC Village Board	None	3 Years Renewable Time
Minor Subdivision	12	CPC Village	\$ 200	2 Years

		Board		
Large Scale Development	13	CPC Village Board	\$ 200	

CPC - Chatham Planning Commission

NOTES:

- 1) Plan Review and Inspection Fee - 1.25% of estimated construction cost of public improvements.
- 2) Street Sign Fee – actual cost of new sign assemblies [see Section 155.092 (L)(2)].
- 3) Electric Infrastructure Fee – fee identified in current electric ordinance
- 4) Early Warning Siren Fee – fee identified in current electric ordinance
- 5) Plan Review and Inspection Fee – fee described in note 1, if not already paid.

SECTION 2: Section 155.0032(A) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(A) The subdivider shall file 13 prints of the preliminary plan of the proposed subdivision in the office of the Zoning Administrator with a filing fee of \$200 to be deposited in the appropriate Village account. The subdivision will be reviewed according to the filing deadline and review schedule established by the Planning Commission, and then by the Village Board.

SECTION 3: Section 155.034 of the Village of Chatham Code of Ordinances is

amended to state as follows:

§155.034 VILLAGE BOARD ACTION.

Not later than the second regularly scheduled meeting after its receipt of the prints of the preliminary plan recommending approval or disapproval by the Planning Commission and of the minutes of the Planning Commission meetings considering the preliminary plan, the Village Board shall consider approval or disapproval of the preliminary plan. At such meeting, the subdivider may appear and be heard by the Village Board if it so desires. The Village Board shall by resolution approve or disapprove the preliminary plat, and shall appropriately endorse the prints of the preliminary plan, and if the preliminary plan is approved, the original of the preliminary plan, as follows:

[Dis]approved by resolution of the President and Board of Trustees of the Village of Chatham this ____ day of _____, 200__.

Village President

Attest:

Village Clerk

SECTION 4: Section 155.042 of the Village of Chatham Code of Ordinances is amended by the addition of subsection (M) and the revision of subsections (K) and (L), to state as follows:

(K) Proof of application for Storm Water Pollution Prevention Plan (SWPPP) permit, if applicable.

(L) Other specific additional information may be requested by the Village's Consulting Engineer.

(M) Permits for sanitary sewer and water main construction, if required.

SECTION 5: Section 155.052 of the Village of Chatham Code of Ordinances is amended to state as follows:

§ 155.052 REVIEW AND INSPECTION FEES.

(A) Before starting construction of any public improvements, the subdivider shall be assessed and shall deposit with the Zoning Administrator for the Village of Chatham an amount equal to one and one quarter percent (1.25 %) of the estimated construction cost (including but not limited to grading, drainage, roadway, sidewalk, sewer, waterline and other improvements which are to be dedicated to public use or which benefit the subdivision generally) as approved by the Village engineer. The Zoning Administrator shall cause such funds to be deposited in the General Fund of the Village.

(B) The foregoing fee is intended to reimburse the Village for charges of the Village engineer in connection with the review and inspection of the preliminary and final plats and the construction of the public improvements. In the event that the engineering expenses incurred by the Village are in excess of the amount initially paid by the subdivider, the Village shall bill the subdivider for the difference, and such amount shall be paid by the subdivider prior to acceptance by the Village of the final plat. However, the subdivider shall not be entitled to any refund in the event the fees actually charged to the Village by the Village engineer is less than 1.25 % of the estimated construction costs.

SECTION 6: Section 155.055(A) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(A).If at the time a final plat is submitted for approval or at any time thereafter, the subdivider has already constructed a portion of the public improvements therein, the subdivider may request that the security for the subdivision be based on 125% the estimated cost of the unconstructed portion. This basis for establishing the amount of the security shall be used only if the Village's Consulting Engineer has inspected the completed portion of the public works and certified that the works have been constructed in accordance with the approved construction plans.

SECTION 7: Section 155.075 of the Village of Chatham Code of Ordinances is

amended to state as follows:

§ 155.075 RECORDING THE FINAL PLAT.

When the final plat has been approved by the Village Board and signed by the Mayor and the Village Clerk, the original tracing shall be recorded in the office of the Recorder of Deeds of Sangamon County, Illinois. If the final plat is not recorded within 2 years after approval by the Village Board, the plat must be resubmitted to the Planning Commission to determine if any changes in the final plat are needed to meet the requirements of this Ordinance. No title to any lots shall be conveyed until the original tracing is recorded. The developer shall deliver a copy of the recorded final plat (containing the document number assigned by the county) to the Village Public Works/ Zoning Department.

SECTION 8: Section 155.092 of the Village of Chatham Code of Ordinances is amended to state as follows:

§155.092 STREET DESIGN

The following requirements shall be incorporated into the design of all streets:

(A) Vertical Alignment

Grades. The maximum grade on a major or minor arterial shall be 5 percent. The maximum grade on all other streets shall be 8 percent. The minimum grade on all streets shall be 0.40 percent. All street grades shall be subject to the approval of the Village's Consulting Engineer.

(B) Horizontal Alignment.

(1) Horizontal Curves. When a center line deflection angle is greater than one (1) degree, the following curves shall be required in the street: major and minor arterials and collector streets shall have a minimum center line radius of 300 feet and a minimum length of curve of 100 feet; arterials and collectors having a design speed and/or expected posted speed greater than 30 miles per hour shall be consistent with the latest revision of the Horizontal Curvature requirements of ASSHTO. A Policy on Geometric Design of Highways and Streets for the appropriate roadway classification; all other types of streets shall have a minimum center line radius of 100 feet. The pavement in all cases shall be wide enough to allow the movement of a WB-50 Design vehicle, as described in the State of Illinois, Department of Transportation Design Manual.

(2) Intersections. Intersections of major and minor arterials and collectors with roadways of the same classes shall not be closer than one quarter of a mile from any other such functionally classed roadways' intersections. These intersections shall be located at the quarter mile grid points.

(3) Street Offsets. Street centerline offsets shall not be less than 125 feet, unless otherwise warranted to the satisfaction of the Village's Consulting Engineer.

(4) Curb Corners. All curb corners shall have a minimum radius of 25 feet.

(C) All local and collector streets shall be installed in accordance with the following pavement standards:

Subgrade: At the option of the subdivider, 12 inch lime-stabilized soil per latest IDOT Standard shall be employed from back-of-curb to back-of-curb. If this option is

chosen, the subdivider shall cut the subgrade to an elevation of no more than one-half inch above the proposed bottom of the pavement before the lime stabilization treatment is applied. This will prevent the need for excessive trimming of the treated subgrade during final grading and ensure the proper thickness of lime stabilized soil.

Asphalt: Pavement Alternate:

(Alternate A). If the subgrade is treated as in above, the pavement design will consist of 4 inches of bituminous concrete binder course (Superpave IL 19N50) and 2 inches of bituminous concrete surface course (Superpave Mix C,N50)

(Alternate B). If the subgrade is not lime treated, the pavement shall consist of 6 inches bituminous concrete binder course (Superpave IL 19N50) and 2 inches of bituminous concrete surface course (Superpave Mix C,N50)

All subgrades shall be inspected by the Village's Consulting Engineer. If the Engineer deems necessary, subgrades will be proof rolled prior to paving.

If the street is a minor arterial, the above binder and surface shall be increased to 6 inches and 2 inches for the lime treated and 8 inches and 2 inches respectively for the non-lime treated subgrades. All major arterial roadways will be designed in accordance with Illinois DOT pavement design standards and as described in the "Pavement Design" section below.

All asphalt material testing shall conform to the latest Illinois DOT Quality Control/Quality Assurance procedures for documentation.

Concrete: Pavement Alternate

Regardless if the subgrade is treated, a minimum of 6 inches unreinforced Portland Cement Concrete pavement according to Section 408 of IDOT specifications shall be employed. All transverse contraction joints shall be 15 feet and sealed per ASTM D3405.

If the street is a minor arterial, the pavement shall be increased to 8 inches. All transverse contraction joints shall be 20 feet and sealed per ASTM D3405.

Pavement Design.

1. All major arterial pavements shall be designed in accordance with the requirements contained in the latest, revised edition of the State of Illinois DOT Design Manual and shall be designed for a 20-year period. The minimum requirements listed in the tables of the Design Manual shall govern at all times.

2. An Illinois Bearing Ratio of 3.0 (IBR = 3.0) shall be used in pavement design unless the subdivider's engineer submits soil tests justifying a different IBR.

3. Vehicular traffic volumes and vehicle classification percentages used in the design shall be approved by the Village's Consulting Engineer.

In all cases the minimum street will govern if the above major arterial design is less.

(D) Pavement Width.

All streets shall be improved with pavements to an overall width in accordance with the following general guidelines, which are subject in every case to the discretion of the Village.

<u>Type of Street</u>	<u>Pavement Width</u> (edge of pavement to edge of pavement)
Major Arterial as required by IDOT	40 feet minimum and
Minor Arterial	32 feet minimum
Collector Street	27 feet minimum
Local Street	27 feet minimum

The minimum pavement width shall be 27 feet from the edge of pavement to edge of pavement, not including the curb and gutter. Different widths may be used depending on the anticipated traffic volumes and parking demand. These widths of pavement shall be determined by the Planning Commission and the Village's Consulting Engineer in consultation with the engineer for the subdivider. If a pavement width narrower than the above stated minimum results from this consultation, the subdivider shall install No Parking signs at his expense.

(E) Curb and Gutter.

(1) The standard curb and gutter required adjacent to flexible pavement shall be a Valley gutter type constructed of Portland cement concrete with the following dimensions: 24 inches wide, 8 inches thick on the front face (pavement side), 10 inches thick on the back face, 7 inches thick at center line (flow line), and a 10 inch radius in the flow line. The curb and gutter adjacent to concrete pavement, if poured monolithically, may be limited to the thickness of the pavement.

(2) All arterial roadways shall be constructed with a barrier type curb and gutter similar to Type B6.18 as described in the State of Illinois, Department of Transportation

Highway Standards shall be used. Other locations where a barrier type curb and gutter are required shall be determined by the engineer for the subdivision and the Village's Consulting Engineer.

(3) Expansion and contraction joints shall be constructed at the intervals identified and in accordance with the provisions of the Illinois DOT standard specifications.

(F) Pavement Crown.

The minimum crown used on all pavements shall be one quarter (1/4) inch per foot measured from the edge of the pavement to the centerline of the street.

(G) Cul-De-Sac Streets.

Local streets that are also cul-de-sac streets shall be no more than 600 feet long unless necessitated by topography in which case they shall be no longer than 1,000 feet unless provision is made for an interim turnaround with a radius sufficient to accommodate emergency vehicles and/or a median entrance (See division J of this section). A turnaround shall be provided at the closed end having an outside roadway diameter of at least eighty-six (86) feet edge to edge of pavement and a street right-of-way diameter of one hundred ten (110) feet. No obstructions shall be permitted in the cul-de-sac turnaround.

(H) Corner "Knuckles"

Widened areas or "Knuckles" constructed at the corners of local streets shall have a minimum edge of pavement radius of 45 feet.

(I) Stub Streets.

Access shall be provided to adjoining property not yet subdivided. Proposed streets shall be extended by dedication to the boundary of such unsubdivided property. At the end of all temporary stub streets, a barricade meeting the provisions of the Illinois Manual on Uniform Traffic Control Devices shall be installed by the subdivider. Stub streets in excess of 250 feet shall be provided with a temporary cul-de-sac with an outside roadway diameter of at least 90 feet. The type of construction shall be determined by the Village's Consulting Engineer. The subdivider shall dedicate a temporary easement to the appropriate street authority in the amount needed in excess of the normally required right-of-way for the temporary turnaround. When the street is extended in the future, the extra turnaround pavement shall be removed and curb and gutters and sidewalks

constructed by the subdivider who constructed the temporary pavement or by the subsequent lot owner.

(J) Multiple Access.

Any area of development containing 70 or more single family lots (or equivalent population) shall be served by two 2 functioning points of access. Where higher densities of development are proposed, a divided type entrance roadway may suffice with a median of adequate width to ensure continued emergency access lanes on one side. Depending on location and height of nearby poles or trees, the required median width shall range between 12 and 30 feet. This type of roadway construction is intended to accommodate higher density developments and not to lengthen the overall length of a cul-de-sac.

(K) Restriction of Access.

When a subdivision or a portion of it adjoins a major or minor arterial, no lot shall have direct access to the arterial. The lot shall have adequate depth for screen planting on the portion of the lot contiguous to the major or minor arterial.

(L) Street Names and Street Signs.

(1) A proposed street that is in alignment with and/or joins an existing named street shall bear the name of the existing street. In no case shall the proposed name of a street duplicate the name of an existing street within the plat jurisdiction of this Ordinance. The use of the suffix "street", "avenue", "boulevard", "driveway", "place", "court" or similar description shall not be a distinction sufficient to constitute compliance with this requirement.

(2) Street names signs shall be erected at all intersections within the Village's jurisdiction at the expense of the subdivider and shall be subject to the specifications of the Illinois Manual on Uniform Traffic Control Devices. The actual costs to install the street sign assemblies will be collected from the developer at the time the developer requests Village acceptance of the streets.

(M) Private Streets

There shall be no private streets platted in any subdivision. Every subdivision lot shall be served from a publicly dedicated street.

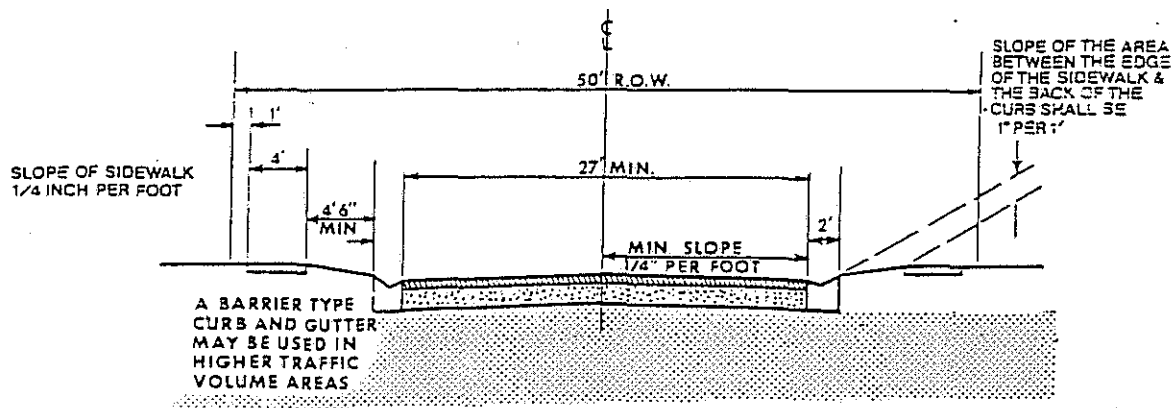
(N) Alleys.

Alleys are not recommended in residential subdivisions unless deemed necessary by the Planning Commission.

(O) Ramps.

Where sidewalks cross a barrier type curb and gutter as described in division (G) of this section, ramps shall be constructed to accommodate the handicapped. These ramps shall be constructed to the lines and grades shown on the standard sidewalk ramp example as shown in Appendix A-5. Inlets for storm drainage shall not be located so that a pedestrian way will be interrupted by the inlet grates.

(P) Typical Street Section



(Q) Medians and Islands.

Where medians or islands are proposed they shall be constructed with barrier curbing. All medians and islands shall be the responsibility of the subdivider and/or a subdivision association to maintain. No sign may be installed in the median which blocks the sight distance at the intersection. If such a sign is to be installed, detailed plans for the sign shall be submitted with the construction plans for approval. In no case shall an island or median contain any other sign or structure except as may be placed for traffic control under the direction of the Village's Consulting Engineer.

The subdivider or subdivision association may landscape medians or islands. Ground cover may not exceed a maximum height of 12 inches. Any additional living plant material must be maintained to allow visibility across, over or through medians and islands at a height of 3-10 feet above the adjacent roadway pavements.

SECTION 9: Section 155.093 (C) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(C) Sizes of Blocks.

Blocks shall not be less than 250 nor more than 1,200 feet in length, measured along the greatest dimension of the enclosed block area. In blocks over 800 feet in length, the Planning Commission may require one or more public crosswalks with a right-of-way of not less than 10 feet in width to extend entirely across the block at locations deemed necessary at intervals not closer than 400 feet.

SECTION 10: Section 155.096(A) through (D) of the Village of Chatham Code of

Ordinances are amended to state as follows:

(A) All subdivisions shall be developed with adequate surface drainage. Surface water drainage improvements shall consist of storm sewers and/or open channels, inlets, catch basins, and manholes designed and constructed to conform with standards established by the Village's Consulting Engineer and shall adequately drain the area being developed, including drainage from other areas which naturally drain through the areas being developed. Inlets and/or catch basins shall be spaced so that water will not flow overland more than 500 feet and shall be located so that in no case will water be required to flow across a street. Water shall not be retained outside the center 10 feet of drainage -- utility easement. Inlets covered by a metal grate shall have a grate of a type that will not be hazardous to a bicyclist. All concrete end sections for pipes less than 36 inches shall employ a grated cover to keep animals and/or children from entering the pipe.

(B) If, as the result of subdivision development, surface water is deposited in existing roadside ditches in quantities exceeding their capacity, the developer shall improve the ditches and replace culverts as needed to handle the flow.

(C) Unless engineering evidence is presented to the Village's Consulting Engineer warranting exceptions, storm sewers which will drain 20 acres or less for residential development shall be designed and constructed to meet the following criteria:

Major and minor arterials - 10 year storm frequency
All other areas - 5 year storm frequency

(D) It shall be the responsibility of the subdivider to provide grade control for rear lot drainage to each lot owner. Swales are not public works which shall be dedicated to and accepted by the Village; nevertheless, no construction surety shall be fully released until

the Village's Consulting Engineer has approved the swales in the subdivision. Upon approval by the Village's Consulting Engineer, it shall be the lot owner's responsibility to maintain the drainage course and to keep it free from features that restrict natural drainage. All swales in residential subdivisions shall have a portland cement concrete swale, 5 inches thick, as indicated on the drawing entitled "Paved Ditch Detail" attached to this Ordinance as Appendix A-6. Swales in commercial subdivisions shall be approved by the Village Engineer on a case-by-case basis based upon the characteristics of the site.

SECTION 11: Section 155.097 (A) of the Village of Chatham Code of Ordinances

is amended to state as follows:

(A) Where an underground utility is to be placed in an area which has a permanent type street or sidewalk surface, or upon which such a surface is to be constructed within a period of one year, the backfill above the utility or in case of sewers, above the top of the granular cradle, to the level of the bottom of the permanent type pavement shall be made. This material will be in all areas where utility trenches cross the pavement subgrade except in areas which will be lime treated or areas where rock will be used to stabilize the subgrade. The backfill shall be IDOT CA-7, CA-8 or CA-11 with a 12 inch cap of IDOT CA-6. Boiler slag and pit run sand will not be permitted. If the developer chooses to stabilize the subgrade with lime as described in Section 155.092, the CA-6 cap shall be constructed below grade to allow for an additional 12 inch cap of lime stabilized soil.

SECTION 12: Section 155.098 of the Village of Chatham Code of Ordinances is

amended to state as follows:

§155.098 SIDEWALKS.

Concrete sidewalks at least 4 feet wide and 4 inches thick shall be constructed on both sides of each street at least four 4.5 feet from, and at least 4 inches above, the backs of the curbs. Sidewalks shall be located one foot inside the street right-of-way. Sidewalks shall be constructed along all streets bordering the subdivision. All sidewalks along arterials and minor arterials shall be five feet wide.

All walks at corner lots shall be extended out to gutter(s) as shown in Appendix A-5. The developer shall construct the ADA sidewalk ramps (as depicted in Appendix A-5) on all corners at the time of street and curb and gutter construction.

The developer shall also construct all mid-block and cul-de-sac sidewalk connections (running perpendicular to the street and/or between two properties) at the time of street and curb and gutter construction.

SECTION 13: Section 155.099 of the Village of Chatham Code of Ordinances is amended by the addition of subsection (A)(2)(D), to state as follows:

(D) In all locations where lateral sewers have less than 5 feet of cover, Class 52 Ductile Iron Pipe shall be used. The developer shall supply and use proper adaptors to connect the Ductile Iron Pipe.

SECTION 14: Section 155.100 of the Village of Chatham Code of Ordinances is amended to state as follows:

§ 155.100 WATER SUPPLY.

(A) Public Water Supply

(1) Water mains not less than six inches in diameter shall be constructed throughout the entire subdivision. Larger diameter pipes may be required by the Village to provide for future transmission needs, in which case, the Village shall pay any incremental costs, over and above the costs to install a 6 inch main. All mains shall conform to SDR 21 requirements and shall be installed with No. 12 insulated tracing wire, secured at every joint with duct tape and exposed in every valve box.

(2) Every water supply system shall be designed in such a manner as to provide an area fire flow meeting the requirements established by the Fire Safety Division of the Fire Department. Water mains larger than six inches in diameter shall be installed at the subdivider's expense if needed to provide the area fire flow required by the Insurance Services Office guild for determination of required fire flow. A minimum of 1,000 gallons per minute with a residual pressure of twenty pounds per square inch shall be required. Fire hydrants with shut-off valves at each hydrant shall be installed throughout the entire system at maximum intervals of six hundred feet or less if required by the Fire Protection District. All fire hydrants shall be three nozzle hydrants with threads as specified by the Chatham Fire Department and shall have flow characteristics similar to those of a five and a quarter inch hydrant valve.

(3) All fire hydrants installed on roads with 50 foot rights-of-way shall be located as shown in Appendix A-7. All fire hydrants installed on roads with 60 foot rights-of-way shall be standard "tees."

(B) Private Water Supply.

When a public water supply is not feasible and the subdivision is outside the corporate limits of Chatham, a private well may be used. Wells shall be constructed according to the Illinois Water Well Pump Installation Code.

SECTION 15: Section 155.113(A) of the Village of Chatham Code of Ordinances is amended to state as follows:

(A) The subdivider shall file 10 prints of the minor subdivision in the office of the Zoning Administrator with a filing fee of \$ 200 to be deposited to the appropriate Village account. The subdivision will be reviewed according to the filing deadline and review schedule established by the Planning Commission .

SECTION 16: Section 155.133(A) of the Village of Chatham Code of Ordinances is amended to state as follows:

(A) The developer shall file 13 prints of the site plan of the proposed development in the office of the Zoning Administrator with a filing fee of \$ 200 to be deposited in the appropriate Village account. The site plan will be reviewed according to the filing deadline and review schedule established by the Planning Commission.

SECTION 17: The following Appendices, copies of which are attached hereto, are added to Chapter 155 of the Village of Chatham Code of Ordinances:

<u>Appendix</u>	<u>Description</u>
A-5	Sidewalk Standards for Handicap Corners
A-6	Paved Ditch Detail
A-7	Parallel Tee/Hydrant

SECTION 18:

This Ordinance shall take effect on March 1, 2005, after its passage and publication.

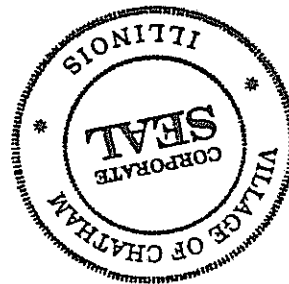
The Clerk shall publish this Ordinance in pamphlet form, and the Clerk shall see to its inclusion in the next update of the Village of Chatham Code of Ordinances.

PASSED this 22 day of FEB, 2005.

Thomas A Gray
VILLAGE PRESIDENT

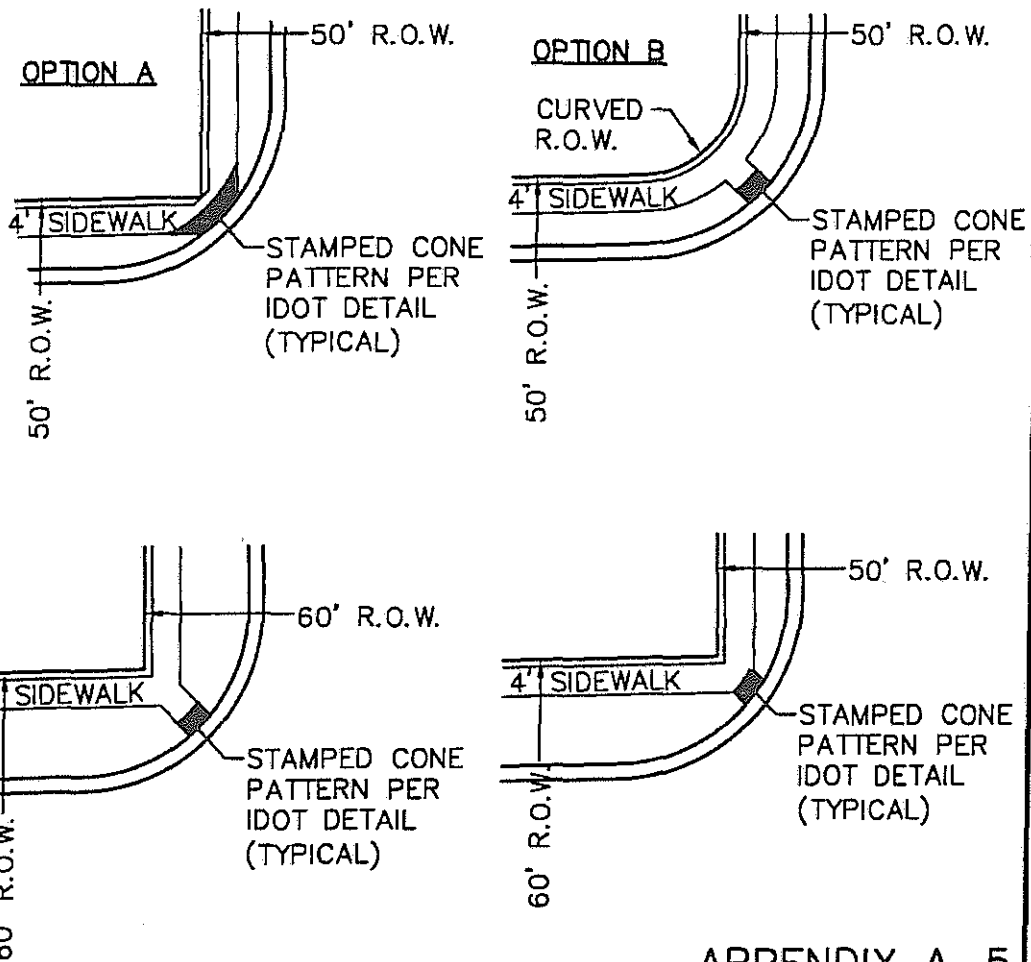
ATTEST:

Pat Schaefer
Village Clerk



AYES: 6 HERR M'ADAMS BOYLE M'CARTHY M'GRATH KAUNAKA
NAYS: 0
PASSED: _____
APPROVED: _____
ABSENT: 0

SIDEWALK STANDARDS FOR HANDICAP CORNERS



APPENDIX A-5

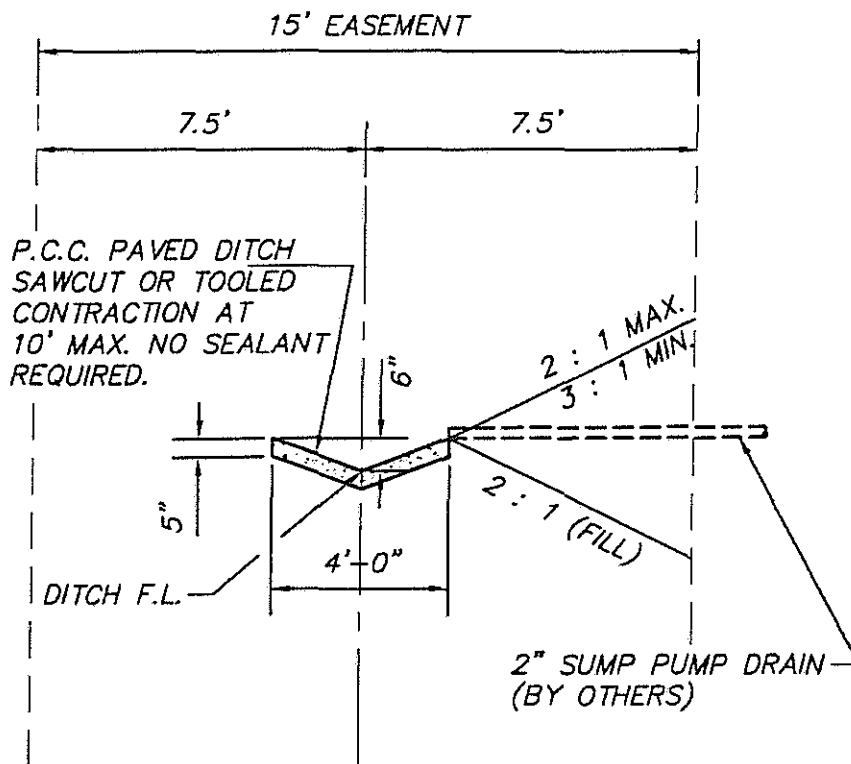
REVISIONS	DATE	BY		DATE	02-01-05
			 GREENE & BRADFORD, INC. OF SPRINGFIELD CONSULTING ENGINEERS 3501 CONSTITUTION DRIVE SPRINGFIELD, ILLINOIS 62711 (217) 793-8844, (217) 793-8227 FAX PROFESSIONAL DESIGN FIRM NO. 184-001179 PROFESSIONAL & STRUCTURAL ENGINEERING CORPORATION	DRAWN	BAILEY
				PROJ. NO.	05-001
				FIELD BOOK	X
				COMPUTER FILE NO.	05001STD2.dwg

mikerncg
Xrefs:

J:\05001\DRAWINGS\05001STD2.dwg

Tue, 02/1/2005 2:58pm

PLOT SCALE 1 = 20



PAVED DITCH DETAIL

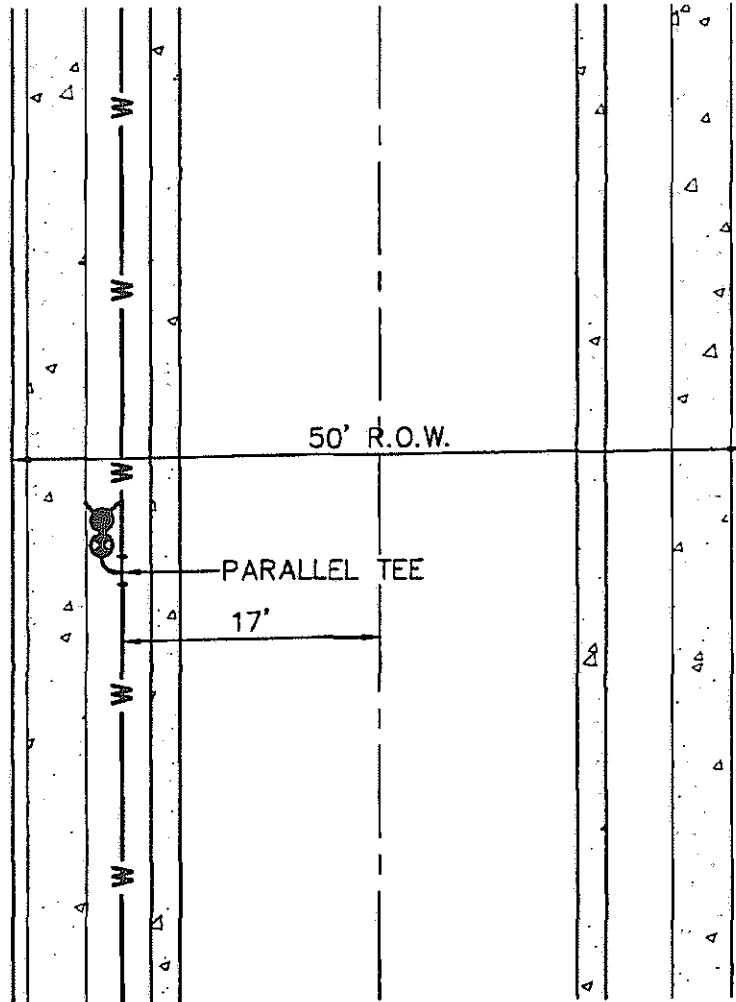
NOTE : VAR. 0' TO 3' CUT
1' FILL MAX.

APPENDIX A-6

	GREENE & BRADFORD, INC.	DATE 02-01-05
	OF SPRINGFIELD	DRASH CRUM
	CONSULTING ENGINEERS	PROJ. NO. 05-001
	3501 CONSTITUTION DRIVE	FIELD BOOK
	SPRINGFIELD, ILLINOIS 62707 (217) 793-8844, (217) 793-8227 FAX	COMPUTER FILE NO. 05001STD3-1

PARALLEL TEE/HYDRANT

(FIRE HYDRANT LOCATION FOR 50' R.O.W.)



APPENDIX A-7

REVISIONS	DATE	BY	DATE	02-01-05
			DATE	02-01-05
			CRASH	BAILEY
			PROJ. NO.	05-001
			FIELD BOOK	X
			COMPUTER FILE NO.	05001STD.dwg



GREENE & BRADFORD, INC.
 OF SPRINGFIELD
 CONSULTING ENGINEERS
 3501 CONSTITUTION DRIVE
 SPRINGFIELD, ILLINOIS 62711
 (217) 793-8844, (217) 793-8227 FAX
 PROFESSIONAL DESIGN FIRM NO. 184-001179
 PROFESSIONAL & STRUCTURAL ENGINEERING CORPORATION

mikemcg J:\05001\DRAWNGS\05001STD.dwg Tue, 02/1/2005 1:38pm
 Xrefs:

PLOT SCALE 1" = 10'

ORDINANCE CERTIFICATE

STATE OF ILLINOIS)
) SS.
COUNTY OF SANGAMON)

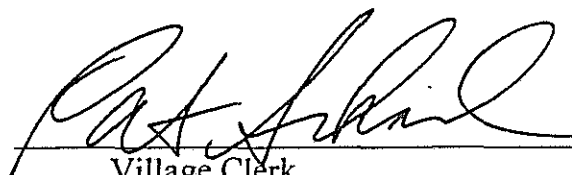
I, the undersigned, do hereby certify that I am the duly qualified and acting Village Clerk of the Village of Chatham, Sangamon County, Illinois.

I do further certify that the ordinance attached hereto is a full, true, and exact copy of Ordinance No. 05- 05 adopted by the President and Board of Trustees of said Village on the 27 day of FEB, 2005, said Ordinance being entitled:

AN ORDINANCE AMENDING THE SUBDIVISION CHAPTER OF THE VILLAGE OF CHATHAM CODE OF ORDINANCES

I do further certify that prior to the making of this certificate, the said Ordinance was spread at length upon the permanent records of said Village, where it now appears and remains.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of said Village this 27 day of FEB, 2005.



Village Clerk



The following are highlights of the updated 2005 Village Subdivision Ordinances. These apply to any future plats not previously approved by the Village.

GENERAL – Fees

1. Preliminary Plan and Final Plat Fee is \$200 in lieu of \$100.
2. Plan Review and Inspection Fee is 1.25% in lieu of 0.7%.
3. Street signs will be assessed at \$200 each when the streets are paved.

PERMITTING

1. The Village requires a copy of the storm water pollution permit (N.O.I. – Notice of Intent).

DESIGN

1. For lime treated sub-bases, asphalt will be increased to 7" from 5 ½". Non-lime treated sub-bases will require asphalt to be modified from 7" to 8".
2. The Developer will be responsible to construct handicap ramps at intersections in conjunction with street paving. Please refer to attached typical standard.
3. "Knuckles" are to maintain at least a 45 foot radius.
4. All concrete end sections 30" and smaller require metal grated covers.
5. Paved swales will be required at all rear lots including duplexes. However, multi-family, commercial and business lots will be reviewed on a case by case basis.
6. Saw cut curbs at 20' intervals (no sealant), expansion to be used at all inlet locations.
7. Pit run sand will no longer be acceptable. CA7 bedding (if below water table) and CA6 will be utilized.
8. All sanitary sewer laterals with 5' or less cover shall employ ductile iron material within the 15' easement area.
9. Water mains will require #12 double insulated wire to be taped and secured at every joint with duct tape. Locations of fire hydrants for 50' right of way streets shall be per attached exhibit.

The electric rebate will soon be amended that in lieu of \$1,800 deposit and \$900 rebate when meter is set to be a simple \$1,100 per lot assessment at the time the final plat is reviewed by the Planning Commission. The Village will not install the cable and transformers until the Developer's Engineer has issued a letter stating the pins and/or lathe are done as well as grade within the 15' easement is within +2".